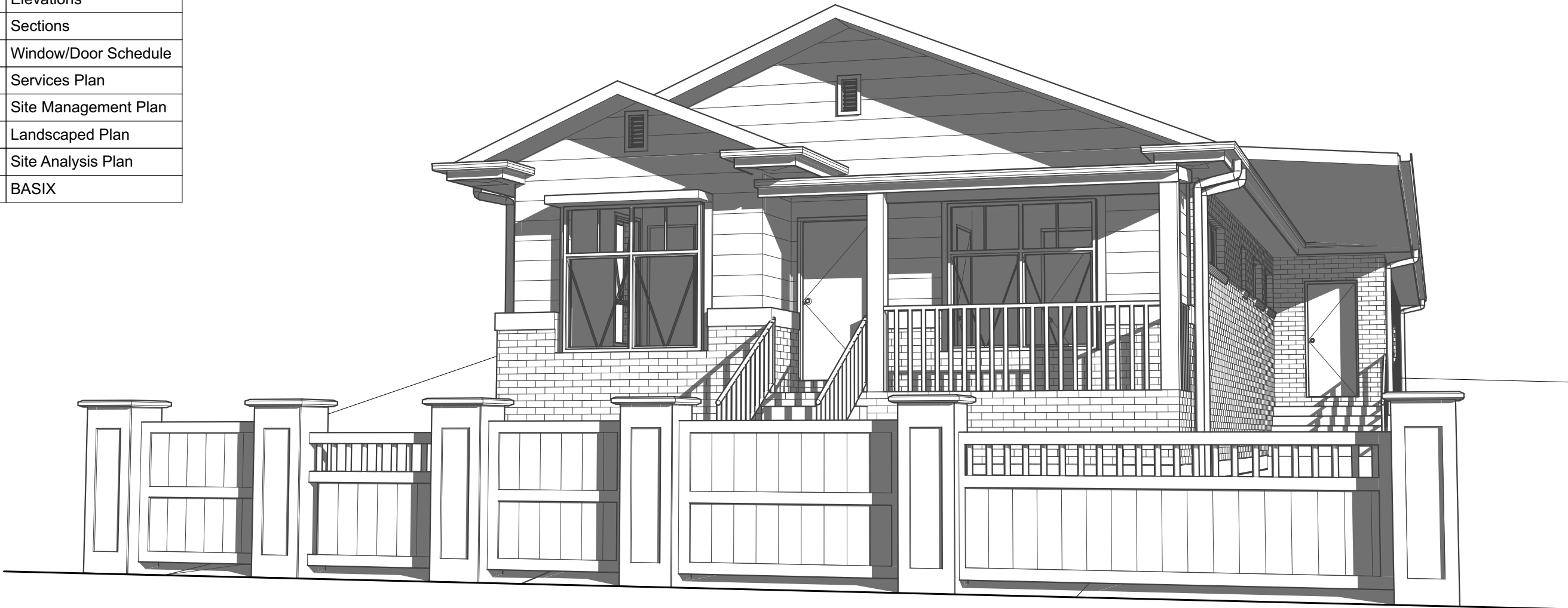



| APPROVAL INDEX | |
|----------------|----------------------|
| Layout No: | Layout Name |
| APPROVAL- 1 | Perspectives |
| APPROVAL- 2 | Contour Survey |
| APPROVAL- 3 | Site Plan |
| APPROVAL- 4 | Ground Floor Plan |
| APPROVAL- 5 | Roof Plan |
| APPROVAL- 6 | Elevations |
| APPROVAL- 7 | Elevations |
| APPROVAL- 8 | Sections |
| APPROVAL- 9 | Window/Door Schedule |
| APPROVAL- 10 | Services Plan |
| APPROVAL- 11 | Site Management Plan |
| APPROVAL- 12 | Landscaped Plan |
| APPROVAL- 13 | Site Analysis Plan |
| APPROVAL- 14 | BASIX |



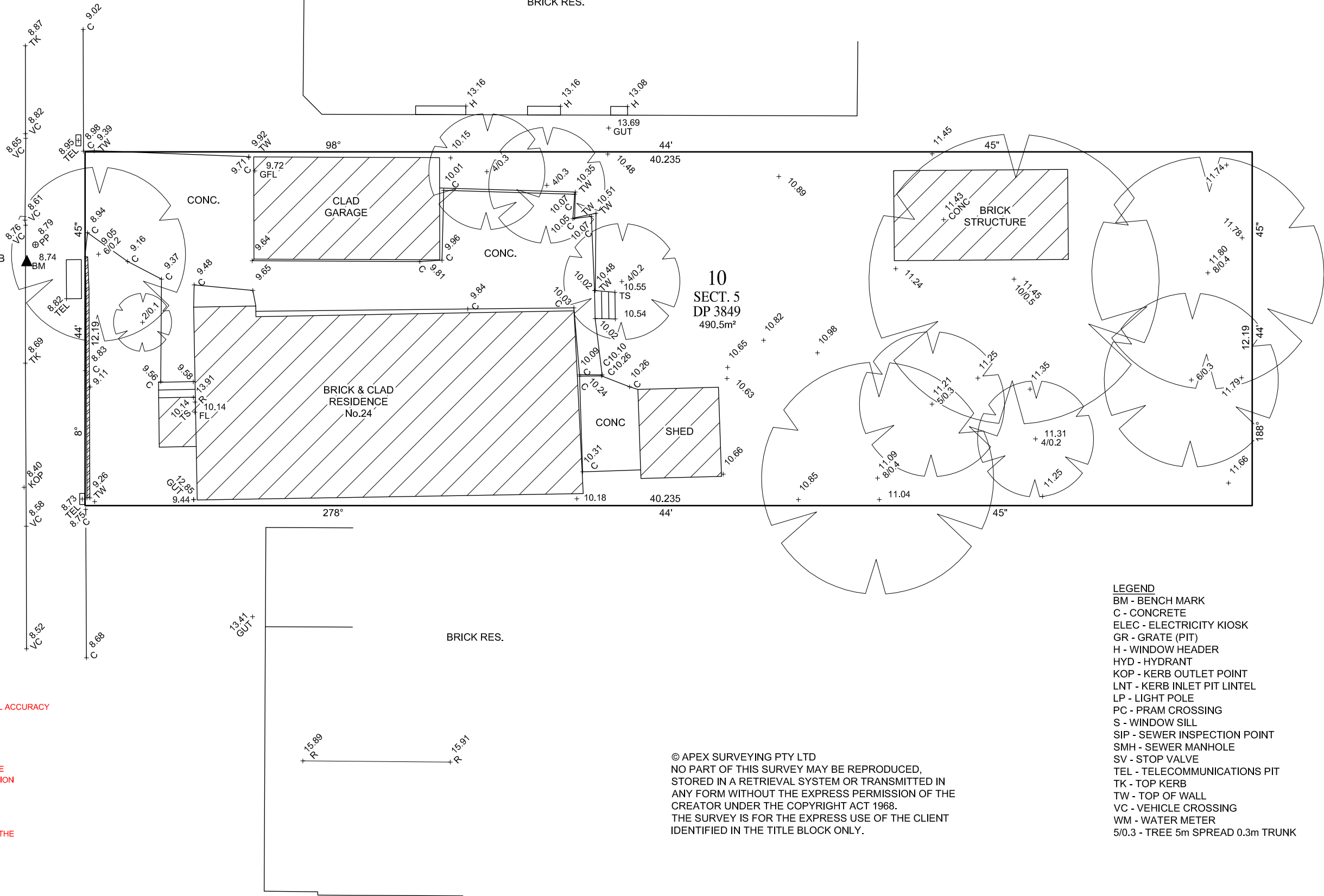
FACADE PERSPECTIVE IS DEPICTIVE ONLY AND MAY VARY ONCE APPLIED TO ACTUAL CUSTOM DESIGN.
ARTIST'S IMPRESSION ONLY NOT TO BE REFERRED TO FOR CONSTRUCTION PURPOSES.
MATERIALS SHOWN ARE DEPICTIVE ONLY AND MAY NOT REFLECT THE SELECTED FINISHES.

| <div></div> <div>fairmontnsw.com.au 1/79 Lasso Road, Gregory Hills NSW 2557 02 4601 1981</div> | CONTRACT PLANS | | GENERAL BUILDING NOTES | | REV - DATE - DESCRIPTION - INITIAL | | Perspectives | | LOCATION LOT 10/SEC 5/ 24 RAILWAY STREET HURLSTONE PARK, NSW, 2193 | | |
|---|--|--|--|--|------------------------------------|--------------------------|-----------------|----------------------|---|--|--|
| | Signed | | <div><div>1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED.</div><div>2. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH BUILDER'S TENDER/CONTRACT DOCUMENTATION.</div><div>3. TENDER DOCUMENT SHALL TAKE PREFERENCE TO THESE DRAWINGS.</div><div>4. FIGURED DIMENSIONS MUST TAKE PREFERENCE TO SCALING.</div><div>5. LEVELS SHOWN ARE APPROXIMATE AND ARE TO BE CONFIRMED ON SITE BY SURVEYOR.</div><div>6. DRAINAGE CONCEPT PLAN IS SCHEMATIC ONLY. RELATED WORKS TO BE VERIFIED BY LICENSED DRAINER AND /OR HYDRAULICS ENGINEER PRIOR TO WORK COMMENCEMENT.</div><div>7. IF ENGINEER DRAWINGS ARE REQUIRED SUCH MUST TAKE PREFERENCE TO THESE DRAWINGS.</div><div>8. ALL BOUNDARY CLEARANCES MUST BE VERIFIED BEFORE COMMENCEMENT OF BUILDING WORKS BY REGISTERED SURVEYOR.</div><div>9. BUILDING WORKS TO BE CARRIED OUT STRICTLY IN ACCORDANCE TO THESE DRAWINGS.</div><div>10. BUILDER IS TO STRICTLY COMPLY WITH ALL RELEVANT AUSTRALIAN CONSTRUCTION CODE AND THE AUSTRALIAN STANDARDS.</div><div>11. IN CASE OF ALTERATIONS OR DISCREPANCIES NOTIFY FAIRMONT HOMES NSW IMMEDIATELY.</div></div> | REV A - 03/11/21 - SALES/SITING PLAN 1 - JA | | DESIGN: CUSTOM | DP | 3849 | | | |
| | Date | | | REV B1 -16/12/21 - CONTRACT AMENDMENTS - JA | | FACADE: CUSTOM | CLIENT | CHAN & SOO | | | |
| | © COPYRIGHT FAIRMONT HOMES NSW ALL RIGHTS RESERVED | | | REV B2 - 25/12/21 - CONTRACT AMENDMENTS - JA | | SHEET NO: APPROVAL- 1 | JOB NUMBER 1980 | | | | |
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| | | | | | DATE | Tuesday, 6 December 2022 | LODGEMENT | DA | | | |



RAILWAY STREET

BM CUT TOP KERB
RL 8.74 AHD



NOTE:

- * THIS PLAN HAS BEEN PREPARED FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS
- * THE LOCATION OF CERTAIN FEATURES & IMPROVEMENTS SHOWN HEREON MAY BE INDICATIVE & THERE IS NO GUARANTEE OF THEIR SPATIAL ACCURACY
- * THE TITLE BOUNDARIES SHOWN HEREIN HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND HAVE NOT BEEN VERIFIED BY FIELD MEASUREMENTS
- * PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATION OF ALL SERVICES
- * CONTOURS HAVE BEEN INTERPOLATED FROM SPOT HEIGHTS TAKEN AND ARE APPROXIMATE ONLY
- * THIS NOTE IS AN INTEGRAL PART OF THIS PLAN. ANY RE-PRODUCTION OF THE INFORMATION CONTAINED IN THIS FILE MUST DISPLAY THIS NOTE

- LEGEND
- BM - BENCH MARK
 - C - CONCRETE
 - ELEC - ELECTRICITY KIOSK
 - GR - GRATE (PIT)
 - H - WINDOW HEADER
 - HYD - HYDRANT
 - KOP - KERB OUTLET POINT
 - LNT - KERB INLET PIT LINTEL
 - LP - LIGHT POLE
 - PC - PRAM CROSSING
 - S - WINDOW SILL
 - SIP - SEWER INSPECTION POINT
 - SMH - SEWER MANHOLE
 - SV - STOP VALVE
 - TEL - TELECOMMUNICATIONS PIT
 - TK - TOP KERB
 - TW - TOP OF WALL
 - VC - VEHICLE CROSSING
 - WM - WATER METER
 - 5/0.3 - TREE 5m SPREAD 0.3m TRUNK

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| | | | | | |
|------------------|-----------|--------|----------------------|-----------|---------------|
| DATUM | AHD | SCALE | 1:100 ON A2 | DRAWN | DF |
| ORIGIN OF LEVELS | SSM 54826 | SUBURB | HURLSTONE PARK | SURVEYED | WD & JH |
| CONTOUR INTERVAL | N/A | L.G.A. | CANTERBURY BANKSTOWN | DATE: | 16/11/2021 |
| CLIENT: | | | | SHEET NO. | 1 OF 1 SHEETS |

PLAN OF DETAIL SURVEY OVER LOT 10 IN SECTION 5 OF DP 3849
AT No.24 RAILWAY STREET, HURLSTONE PARK

SURVEYORS REFERENCE 21730

DA SCHEDULE

SITE DETAILS

| | |
|-----------------------------|-----------------------------|
| LGA CONTROL | Canterbury DCP 2012 |
| LOT NUMBER/DP NUMBER | 10 / 3849 |
| ZONE & LOT WIDTH | R2 12.190m |
| SITE AREA | 490.50 m ² |
| DWELLING AREAS | |
| GROUND FLOOR LIVING | 218.65 m ² |
| FIRST FLOOR LIVING | 0.00 m ² |
| PORCH | 5.18 m ² |
| PATIO | 0.00 m ² |
| FRONT BALCONY | 0.00 m ² |
| REAR BALCONY | 0.00 m ² |
| GARAGE | 0.00 m ² |
| ALFRESCO | 21.23 m ² |
| TOTAL : | 245.06 m² |
| DRIVE AREA | 60.60 m ² |
| ROOF AREA (drained to tank) | 310.92 m ² |

SITE COVERAGE (Single storey/Lower floor)

| | |
|-----------------------|-------------------------------------|
| MAXIMUM SITE COVERAGE | 245.25 m ² / 50.00% |
| ACTUAL SITE COVERAGE | 218.65 m²/ 44.58% |

FLOOR SPACE RATIO

| | |
|-------------------------|-------------------------------------|
| MAXIMUM FLOOR SPACE/FSR | 0.00 m ² / 0.00% |
| ACTUAL FLOOR SPACE/FSR | 201.11 m²/ 41.00% |

*SUBJECT TO COUNCIL APPROVAL

LANDSCAPING AREAS

| | |
|---------------------|-------------------------------------|
| MINIMUM LANDSCAPING | 98.10 m ² / 20.00% |
| ACTUAL LANDSCAPING | 100.40 m²/ 20.47% |

PRIVATE OPEN SPACE

| | |
|-------------|---------------------------------|
| MINIMUM POS | 0.00 m ² / 2.5 |
| ACTUAL POS | 85.14 m²/ 2.5 |

*SUBJECT TO COUNCIL APPROVAL

BUILDING HEIGHT

| | |
|----------------|---------------|
| MAXIMUM HEIGHT | 8.50 m |
| ACTUAL HEIGHT | 5.03 m |

*AS PER CANTERBURY LEP 2012

OVERHEAD POWERLINE PROTECTION

WORKS TO BE PERFORMED BY LOCAL SUPPLY AUTHORITY

SURFACE PICKUPS TO BE PROVIDED WHERE REQUIRED. TO BE CONFIRMED ON SITE BY PLUMBER

POSITION OF STORMWATER DRAINAGE LINES AND DOWNPIPES INDICATED ARE APPROXIMATE ONLY. TO BE CONFIRMED ONSITE

NBN

NBN CONNECTION AS PER ESTATE REQUIREMENT

LOT 10/SEC 5/ 24 RAILWAY STREET
AREA: 490.50m²

'S' CLASS SLAB

AS PER SOIL CLASSIFICATION REPORT - REF:30055/7205 - DATED 07/01/21

KNOCK-DOWN REBUILD SITE

CLASS 5 - ACID SULFATE SOIL

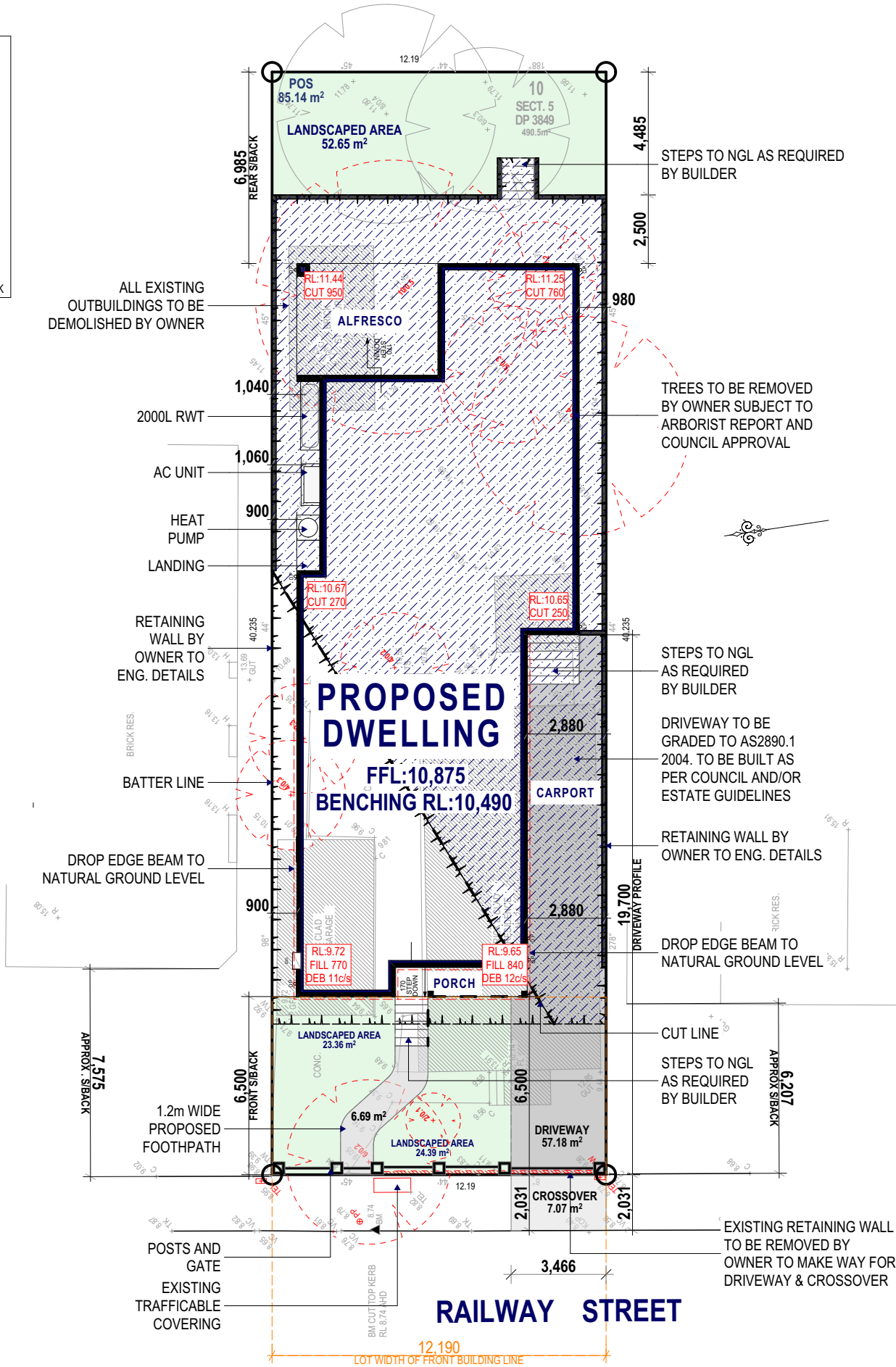
AS PER CANTERBURY LEP 2012

RAILWAY STREET - HERITAGE

AS PER CANTERBURY LEP 2012



| | |
|-----------------------------------|--|
| SURVEY LEGEND | |
| BM - BENCH MARK | |
| C - CONCRETE | |
| ELEC - ELECTRICITY KIOSK | |
| GB - GARDEN BED | |
| GR - GRATE (PIT) | |
| H - WINDOW HEADER | |
| HYD - HYDRANT | |
| KOP - KERB OUTLET POINT | |
| LNT - KERB INLET PIT LINTEL | |
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| TK - TOP KERB | |
| VC - VEHICLE CROSSING | |
| WM - WATER METER | |
| 5/0.3 - TREE 5m SPREAD 0.3m TRUNK | |



DRAFTING NOTE:

ALL EXTERNALS TO BE DISCUSSED DURING SELECTIONS TO ENSURE THAT THE DEVELOPMENT IS SYMPATHETIC TO THE HERITAGE CHARACTER LOCAL CONSERVATION AREA OF RAILWAY STREET

DRAFTING NOTE:

PLEASE REFER TO STRUCTURAL ENGINEER'S STRUCTURAL PLANS.
ISSUE A, DATED 24/07/22, REF PST22346

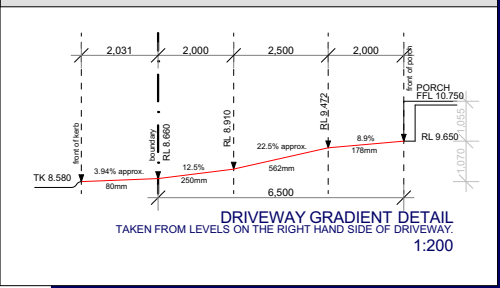
DRAFTING NOTE:

PLEASE REFER TO HYDRAULICS ENGINEER'S STORMWATER PLANS.
ISSUE A, DATED 24/07/22, REF PSW22265

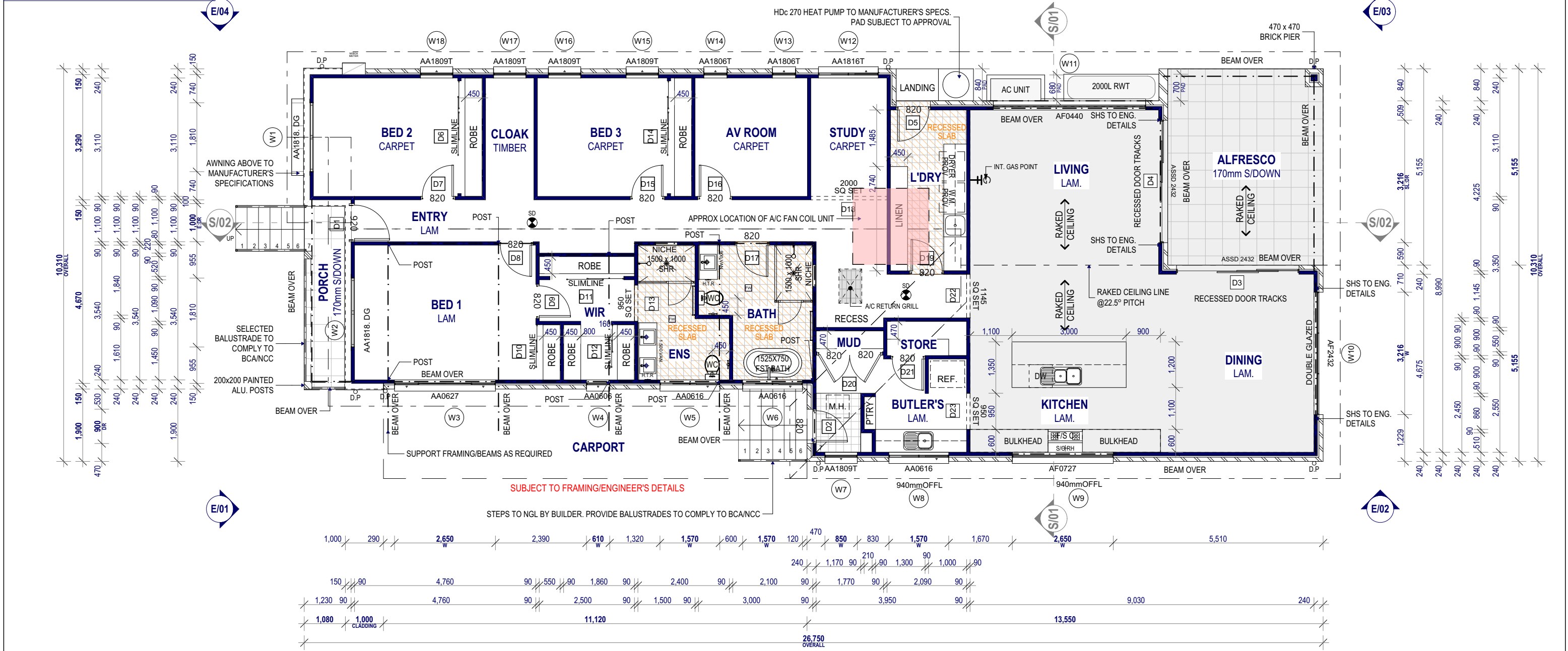


DRIVEWAY PROFILE

AS2890.1-2004



| BRICK VENEER & STEEL FRAMED CONSTRUCTION | PROVIDE R2.0 BULK INSULATION TO INTERNAL WALLS | <table><tr><th colspan="2">Area Calculations</th></tr><tr><th>Room Name</th><th>Area</th></tr><tr><td>01 GROUND FLOOR</td><td>218.65</td></tr><tr><td>02 PORCH</td><td>5.18</td></tr><tr><td>03. ALFRESCO</td><td>21.23</td></tr><tr><td></td><td>245.06 m²</td></tr></table> | Area Calculations | | Room Name | Area | 01 GROUND FLOOR | 218.65 | 02 PORCH | 5.18 | 03. ALFRESCO | 21.23 | | 245.06 m² |
|--|---|---|-------------------|--|-----------|------|-----------------|--------|----------|------|--------------|-------|--|-----------|
| Area Calculations | | | | | | | | | | | | | | |
| Room Name | Area | | | | | | | | | | | | | |
| 01 GROUND FLOOR | 218.65 | | | | | | | | | | | | | |
| 02 PORCH | 5.18 | | | | | | | | | | | | | |
| 03. ALFRESCO | 21.23 | | | | | | | | | | | | | |
| | 245.06 m² | | | | | | | | | | | | | |
| LIFT OFF HINGES TO ALL WET AREAS AS PER BCA/NCC | REFER TO COLOURS FOR INTERNAL & EXTERNAL INCLUSIONS | | | | | | | | | | | | | |
| MECHANICAL VENTILATION TO ALL WET AREAS AS PER BCA/NCC | | | | | | | | | | | | | | |
| RECESSED FLOORING TO ALL WET AREAS - 40mm S/DOWN | | | | | | | | | | | | | | |
| REFER TO TENDER FOR JOINERY INCLUSIONS | | | | | | | | | | | | | | |
| PROVIDE R2.5 BULK INSULATION TO EXTERNAL WALLS | | | | | | | | | | | | | | |



NOTES:
REFER TO A/C INSTALLERS AND/OR MANUFACTURERS SPECIFICATIONS AND DETAILS FOR A/C DUCT POSITION.) LOCATION.
REFER TO ENGINEERS PLANS AND SPECIFICATIONS FOR ALL STEEL BEAMS.
REFER TO TRUSS MANUFACTURERS PLANS AND SPECIFICATIONS FOR ALL TIMBER FRAME WORKS.
REFER TO A/C INSTALLERS AND/OR MANUFACTURERS SPECIFICATIONS AND DETAILS FOR A/C DUCT POSITION.

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1/79 Lasso Road, Gregory Hills NSW 2557

02 4601 1981

Signed _____

Date _____

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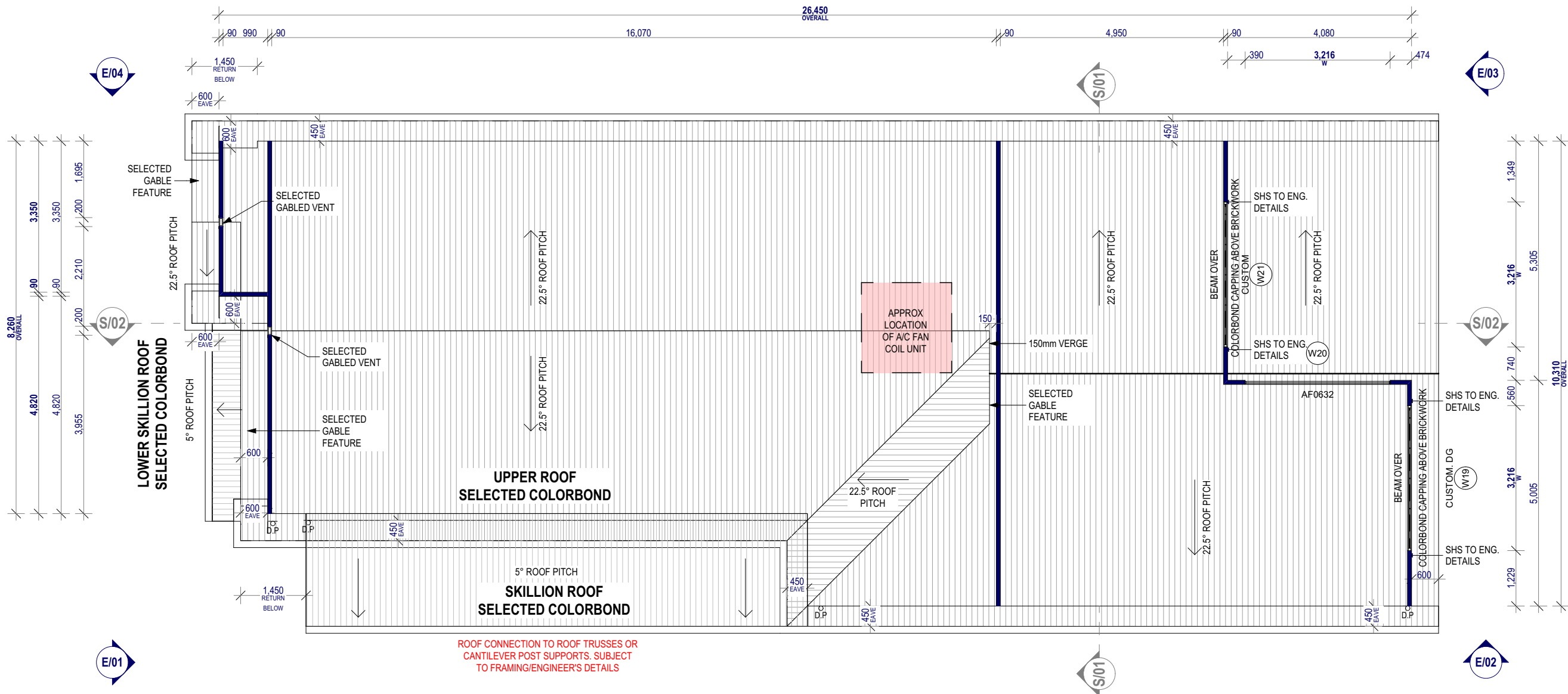
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REV B2 - 25/12/21 - CONTRACT AMENDMENTS - JA
REV B3 - 17/02/22 - CONTRACT VARIATIONS - AP
REV B4 - 14/04/22 - AMENDMENTS - AP
REV B5 - 04/08/22 - DOUBLE GLAZING CV-3 - SC
REV C1 - 29/11/22 - APPROVAL PLANS - AP
REVC2 - 06/12/22 - HWS UPDATED. SC

| | | | |
|--------------------------|--------------------------|--|----|
| Ground Floor Plan | LOCATION | LOT 10/SEC 5/ 24 RAILWAY STREET HURLSTONE PARK, NSW, 2193 | |
| DESIGN: CUSTOM | DP | 3849 | |
| FACADE: CUSTOM | CLIENT | CHAN & SOO | |
| SHEET NO: APPROVAL- 4 | JOB NUMBER | 1980 | |
| SCALE: 1:100 @ A3 | LGA | CANTERBURY-BANKSTOWN | |
| DATE | Tuesday, 6 December 2022 | LODGEMENT | DA |

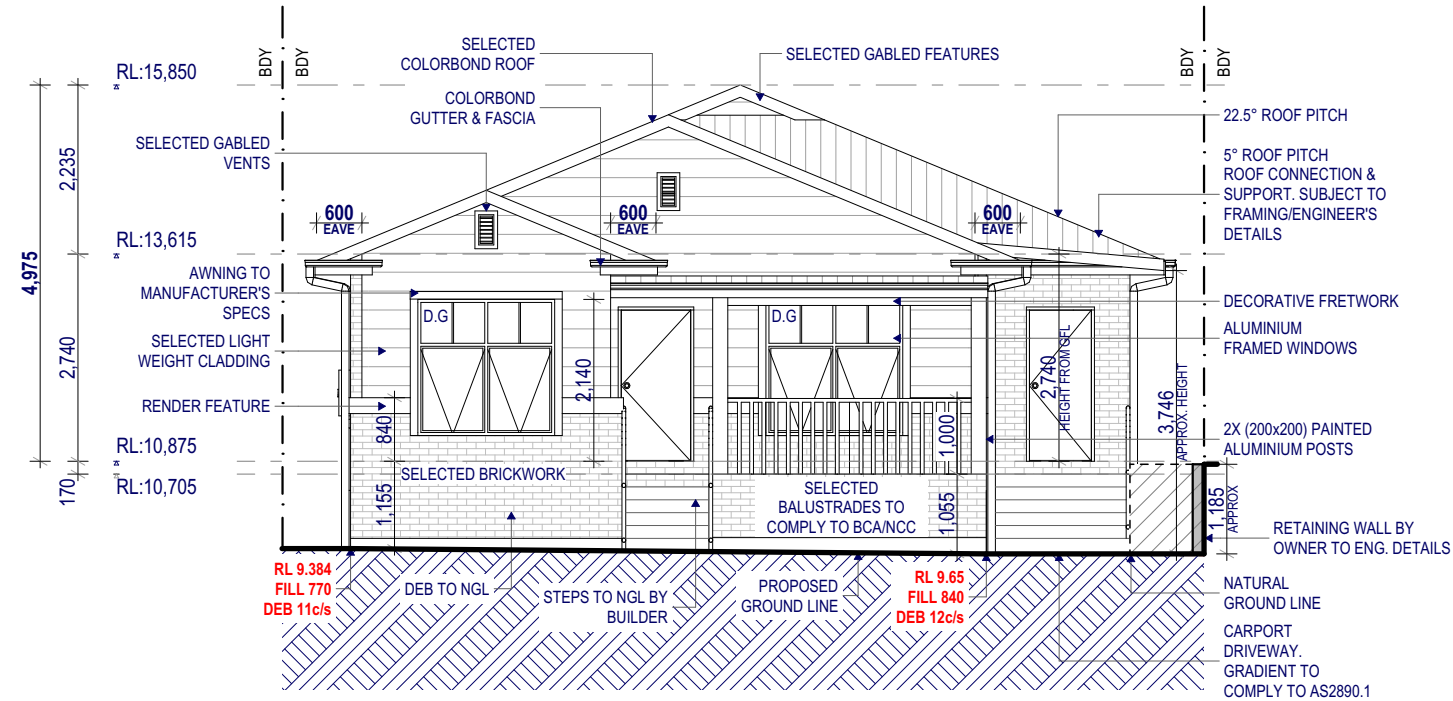
PROVIDE R6.0 BULK INSULATION TO ALL TRUSSED CEILINGS OVER LIVING AREAS



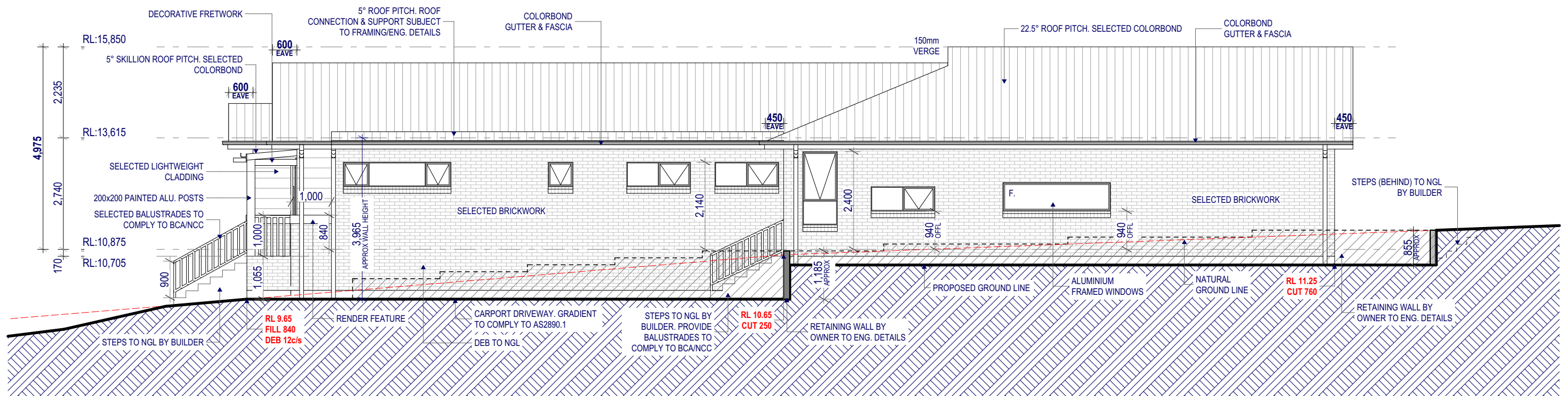
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| CONTRACT PLANS | | GENERAL BUILDING NOTES | REV - DATE - DESCRIPTION - INITIAL | Roof Plan | LOCATION |
|---|--------------|--|---|-------------------------------|--|
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| | Date _____ | | | FACADE: CUSTOM | DP 3849 |
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| | | | | SHEET NO: APPROVAL- 5 | JOB NUMBER 1980 |
| | | | | SCALE: 1:100 @ A3 | LGA CANTERBURY-BANKSTOWN |
| | | | | DATE Tuesday, 6 December 2022 | LODGEMENT DA |

**FRETWORK DETAIL TO BE DISCUSSED
DURING SELECTIONS**



E/01 FRONT - WESTERN ELEVATION
- Scale 1:100



E/02 RIGHT - SOUTHERN ELEVATION
- Scale 1:100



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Date _____

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REV C1 - 29/11/22 - APPROVAL PLANS - AP
REVC2 - 06/12/22 - HWS UPDATED. SC

Elevations

DESIGN: CUSTOM

FACADE: CUSTOM

SHEET NO: APPROVAL- 6

SCALE: 1:100 @ A3

| | |
|------|--------------------------|
| DATE | Tuesday, 6 December 2022 |
|------|--------------------------|

LOCATION LOT 10/SEC 5/ 24 RAILWAY STREET
HURLSTONE PARK, NSW, 2193

| | |
|----|------|
| DP | 3849 |
|----|------|

| | |
|--------|------------|
| CLIENT | CHAN & SOO |
|--------|------------|

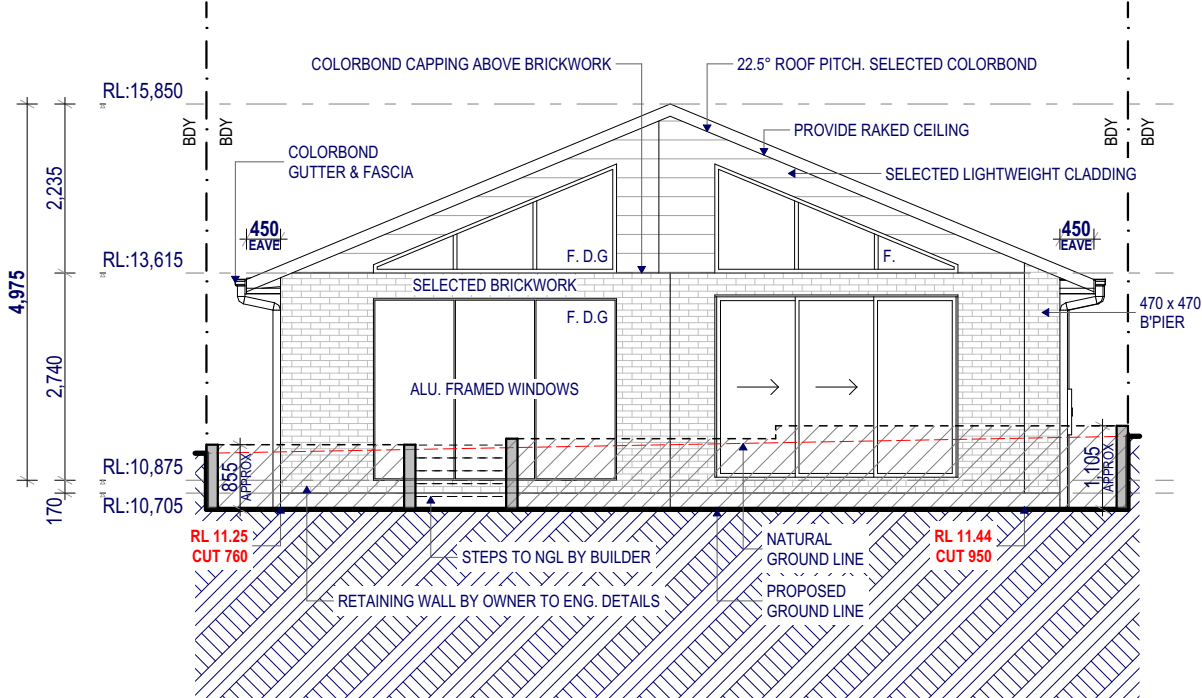
| |
|-----------------|
| JOB NUMBER 1980 |
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| LGA | CANTERBURY-BANKSTOWN |
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| LODGEMENT DA |
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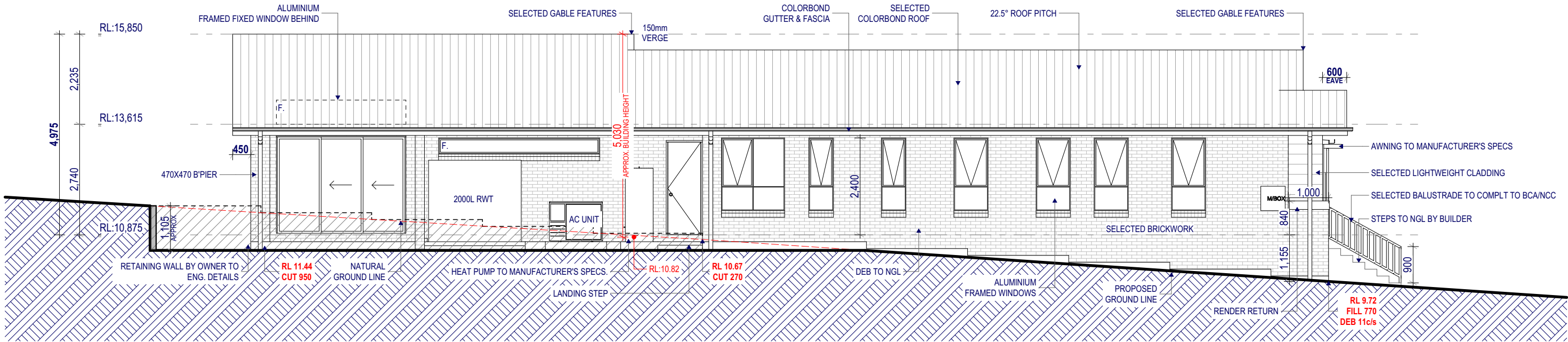
REFER TO COLOURS FOR INTERNAL & EXTERNAL INCLUSIONS

PROVIDE R2.5 BULK INSULATION TO EXTERNAL WALLS



E/03 REAR - EASTERN ELEVATION

Scale 1:100



E/04 LEFT - NORTHERN ELEVATION

Scale 1:100



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Date _____

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REV - DATE - DESCRIPTION - INITIAL

REV A - 03/11/21 - SALES/SITING PLAN 1 - JA

REV B1 - 16/12/21 - CONTRACT AMENDMENTS - JA

REV B2 - 25/12/21 - CONTRACT AMENDMENTS - JA

REV B3 - 17/02/22 - CONTRACT VARIATIONS - AP

REV B4 - 14/04/22 - AMENDMENTS - AP

REV B5 - 04/08/22 - DOUBLE GLAZING CV-3 - SC

REV C1 - 29/11/22 - APPROVAL PLANS - AP

REVC2 - 06/12/22 - HWS UPDATED. SC

Elevations

DESIGN: CUSTOM

FACADE: CUSTOM

SHEET NO: APPROVAL- 7

SCALE: 1:100 @ A3

DATE Tuesday, 6 December 2022

LOCATION LOT 10/SEC 5/ 24 RAILWAY STREET

HURLSTONE PARK, NSW, 2193

DP 3849

CLIENT CHAN & SOO

JOB NUMBER 1980

LGA CANTERBURY-BANKSTOWN

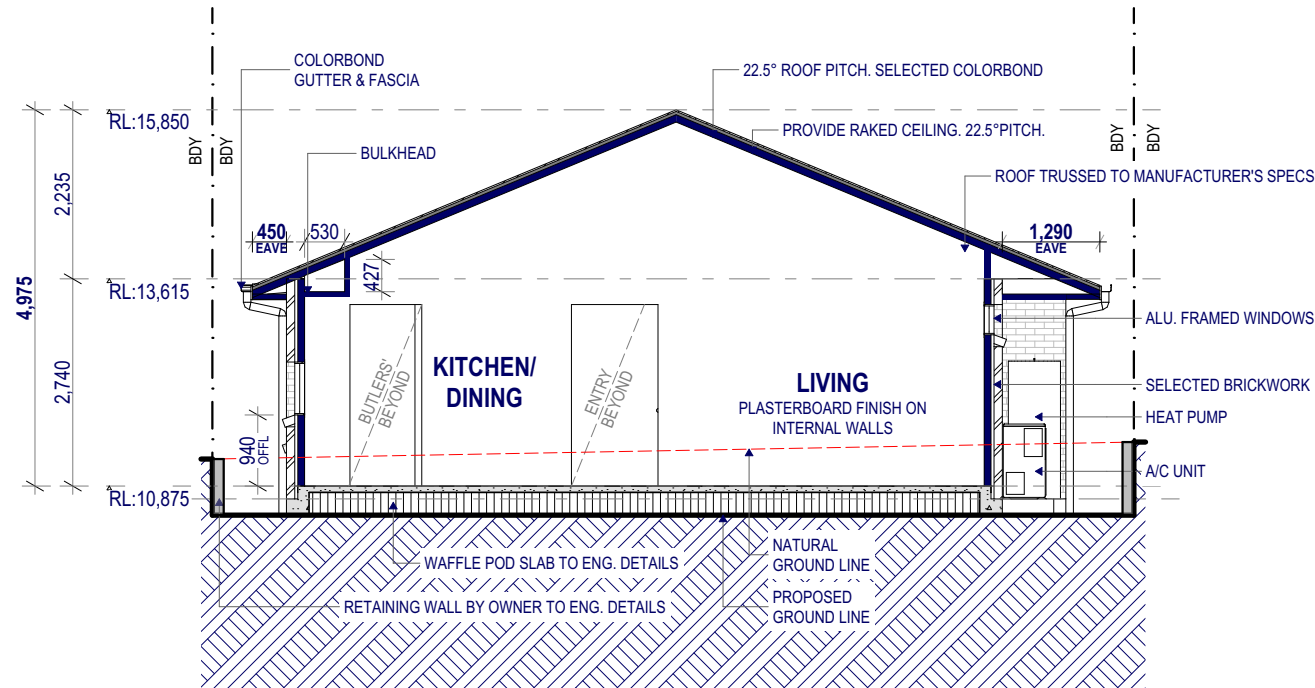
LODGEMENT DA

REFER TO COLOURS FOR INTERNAL & EXTERNAL INCLUSIONS

PROVIDE R2.5 BULK INSULATION TO EXTERNAL WALLS

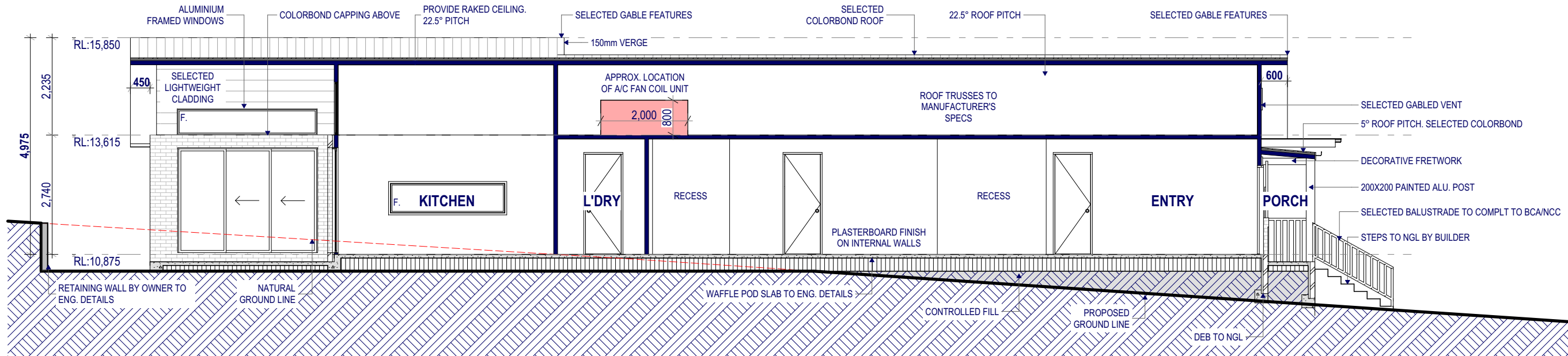
PROVIDE R2.0 BULK INSULATION TO INTERNAL WALLS

PROVIDE R6.0 BULK INSULATION TO ALL TRUSSED CEILINGS OVER LIVING AREAS



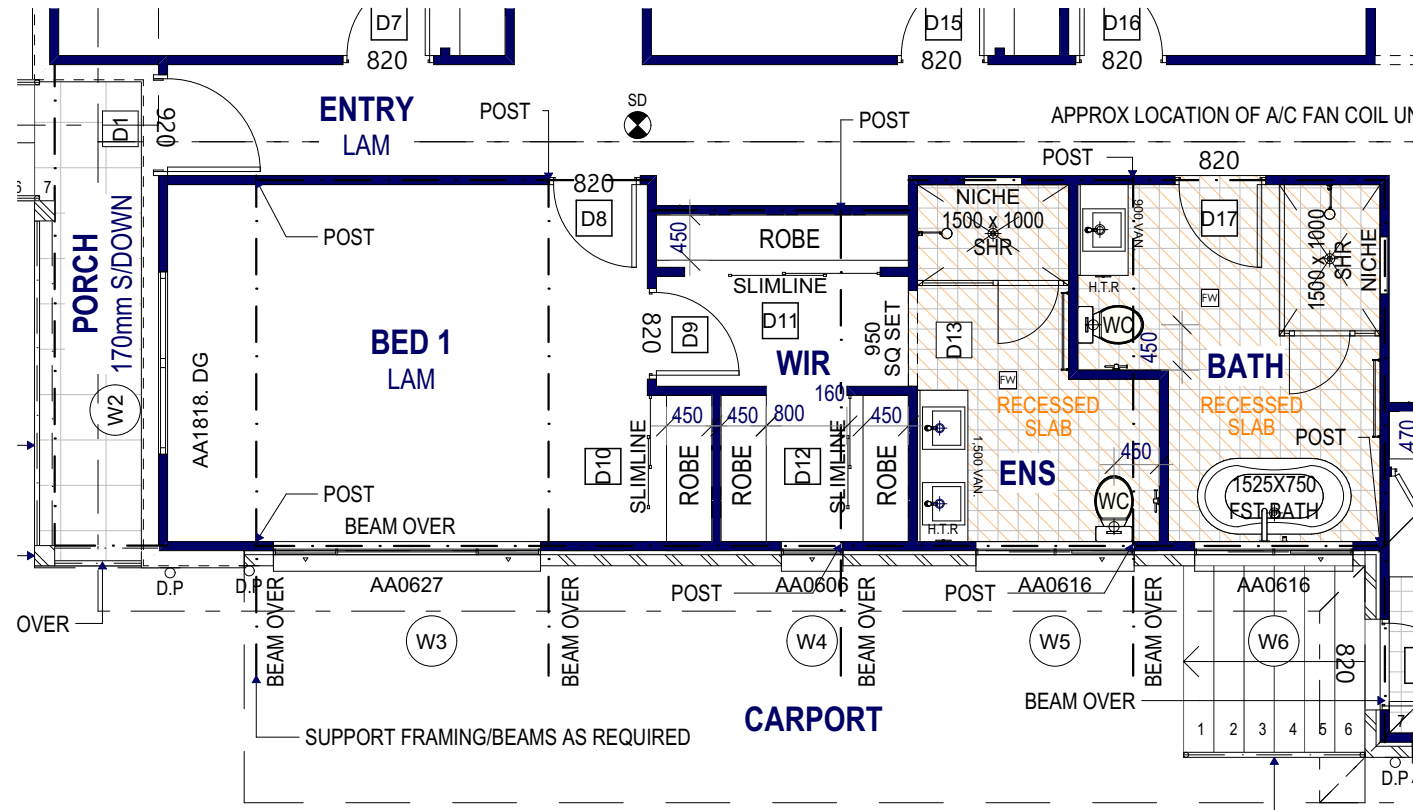
S/01 SECTION 01

Scale 1:100



S/02 SECTION 02

Scale 1:100



GROUND FLOOR PLAN

Scale 1:75

ROOF CONNECTION TO ROOF TRUSSES OR CANTILEVER POSTS SUPPORTS. SUBJECT TO FRAME & ENGINEERS' COMPANY



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GENERAL BUILDING NOTES






















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




















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REV C1 - 29/11/22 - APPROVAL PLANS - AP
REV C2 - 06/12/22 - HWS UPDATED. SC

| Sections | LOCATION |
|-------------------------------|--|
| DESIGN: CUSTOM | LOT 10/SEC 5/ 24 RAILWAY STREET HURLSTONE PARK, NSW, 2193 |
| FACADE: CUSTOM | DP 3849 |
| SHEET NO: APPROVAL- 8 | CLIENT CHAN & SOO |
| SCALE: 1:100, 1:75 @ A3 | JOB NUMBER 1980 |
| DATE Tuesday, 6 December 2022 | LGA CANTERBURY-BANKSTOWN |
| | LODGEMENT DA |

DRAFTING NOTE:
ALL EXTERNALS TO BE DISCUSSED DURING SELECTIONS TO ENSURE THAT THE DEVELOPMENT IS SYMPATHETIC TO THE HERITAGE CHARACTER LOCAL CONSERVATION AREA OF RAILWAY STREET

| Window Schedule | | | | | | | | | |
|-----------------|-------------|---|--------|-------|-------------|--------------|----------|--------------------|-------------|
| Window No# | Window Code | Front View | Height | Width | Head height | Surface Area | Quantity | Wall Structure | Notes |
| W1 | AA1818 |  | 1,800 | 1,810 | 2,140 | 3.26 | 1 | Brick & Clad Wall | DOUBLE GLZ. |
| W2 | AA1818 |  | 1,800 | 1,810 | 2,140 | 3.26 | 1 | Brick & Clad Wall | DOUBLE GLZ. |
| W3 | AA0627 |  | 600 | 2,650 | 2,140 | 1.59 | 1 | Brick Veneer 240mm | |
| W4 | AA0606 |  | 600 | 610 | 2,140 | 0.37 | 1 | Brick Veneer 240mm | |
| W5 | AA0616 |  | 600 | 1,570 | 2,140 | 0.94 | 1 | Brick Veneer 240mm | |
| W6 | AA0616 |  | 600 | 1,570 | 2,140 | 0.94 | 1 | Brick Veneer 240mm | |
| W7 | AAT1809 |  | 1,800 | 850 | 2,400 | 1.53 | 1 | Brick Veneer 240mm | |
| W8 | AA0616 |  | 600 | 1,570 | 1,540 | 0.94 | 1 | Brick Veneer 240mm | |
| W9 | AF0627 |  | 700 | 2,650 | 1,640 | 1.86 | 1 | Brick Veneer 240mm | |
| W10 | AF2436 |  | 2,400 | 3,216 | 2,400 | 7.72 | 1 | Brick Veneer 240mm | DOUBLE GLZ. |
| W11 | AF0440 |  | 400 | 4,000 | 2,400 | 1.60 | 1 | Brick Veneer 240mm | CUSTOM |
| W12 | AAT1816 |  | 1,800 | 1,570 | 2,400 | 2.83 | 1 | Brick Veneer 240mm | |
| W13 | AAT1806 |  | 1,800 | 610 | 2,400 | 1.10 | 1 | Brick Veneer 240mm | |
| W14 | AAT1806 |  | 1,800 | 610 | 2,400 | 1.10 | 1 | Brick Veneer 240mm | |
| W15 | AAT1809 |  | 1,800 | 850 | 2,400 | 1.53 | 1 | Brick Veneer 240mm | |
| W16 | AAT1809 |  | 1,800 | 850 | 2,400 | 1.53 | 1 | Brick Veneer 240mm | |
| W17 | AAT1809 |  | 1,800 | 850 | 2,400 | 1.53 | 1 | Brick Veneer 240mm | |
| W18 | AAT1809 |  | 1,800 | 850 | 2,400 | 1.53 | 1 | Brick Veneer 240mm | |
| W19 | CUSTOM |  | 110 | 3,216 | 110 | 0.35 | 1 | Stud Wall 90 | DOUBLE GLZ. |
| W20 | AF0632 |  | 600 | 3,216 | 600 | 1.93 | 1 | Stud Wall 90 | |
| W21 | CUSTOM |  | 110 | 3,216 | 110 | 0.35 | 1 | Stud Wall 90 | |
| | | | | | | 37.79 m² | 21 | | |

| Door Schedule | | | | | | | |
|---------------|--------------|---|--------|-------|----------|--------------------|-----------------------------|
| Door No# | Door Type | Front View | Height | Width | Quantity | Wall Structure | Notes |
| D1 | HINGED DR |  | 2,040 | 920 | 1 | Brick & Clad Wall | |
| D2 | HINGED DR |  | 2,040 | 820 | 1 | Brick Veneer 240mm | |
| D3 | STACKER DR |  | 2,410 | 3,216 | 1 | Brick Veneer 240mm | ASSD2432. RECESSED DR TRACK |
| D4 | STACKER DR |  | 2,410 | 3,216 | 1 | Brick Veneer 240mm | ASSD2432. RECESSED DR TRACK |
| D5 | HINGED DR |  | 2,340 | 820 | 1 | Brick Veneer 240mm | |
| D6 | ROBES DR |  | 2,340 | 2,960 | 1 | Stud Wall 90 | |
| D7 | HINGED DR |  | 2,340 | 820 | 1 | Stud Wall 90 | |
| D8 | HINGED DR |  | 2,340 | 820 | 1 | Stud Wall 90 | |
| D9 | HINGED DR |  | 2,340 | 820 | 1 | Stud Wall 90 | |
| D10 | ROBES DR |  | 2,340 | 1,450 | 1 | Stud Wall 90 | |
| D11 | ROBES DR |  | 2,340 | 1,940 | 1 | Stud Wall 90 | |
| D12 | ROBES DR |  | 2,340 | 1,450 | 1 | Stud Wall 90 | |
| D13 | SQ SET |  | 2,400 | 950 | 1 | Stud Wall 90 | |
| D14 | ROBES DR |  | 2,340 | 2,960 | 1 | Stud Wall 90 | |
| D15 | HINGED DR |  | 2,340 | 820 | 1 | Stud Wall 90 | |
| D16 | HINGED DR |  | 2,340 | 820 | 1 | Stud Wall 90 | |
| D17 | HINGED DR |  | 2,340 | 820 | 1 | Stud Wall 90 | |
| D18 | SQ SET |  | 2,400 | 2,000 | 1 | Stud Wall 90 | |
| D19 | HINGED DR |  | 2,340 | 820 | 1 | Stud Wall 90 | |
| D20 | 2X HINGED DR |  | 2,340 | 1,640 | 1 | Stud Wall 90 | |
| D21 | HINGED DR |  | 2,340 | 820 | 1 | Stud Wall 90 | |
| D22 | SQ SET |  | 2,400 | 1,145 | 1 | Stud Wall 90 | |
| D23 | SQ SET |  | 2,400 | 950 | 1 | Stud Wall 90 | |
| 23 | | | | | | | |



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Date _____

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REV C1 - 29/11/22 - APPROVAL PLANS - AP

REVC2 - 06/12/22 - HWS UPDATED. SC

Window/Door Schedule

DESIGN: CUSTOM

FACADE: CUSTOM

SHEET NO: APPROVAL- 9

SCALE: 1:1.200 @ A3

DATE Tuesday, 6 December 2022

LOCATION LOT 10/SEC 5/ 24 RAILWAY STREET
HURLSTONE PARK, NSW, 2193

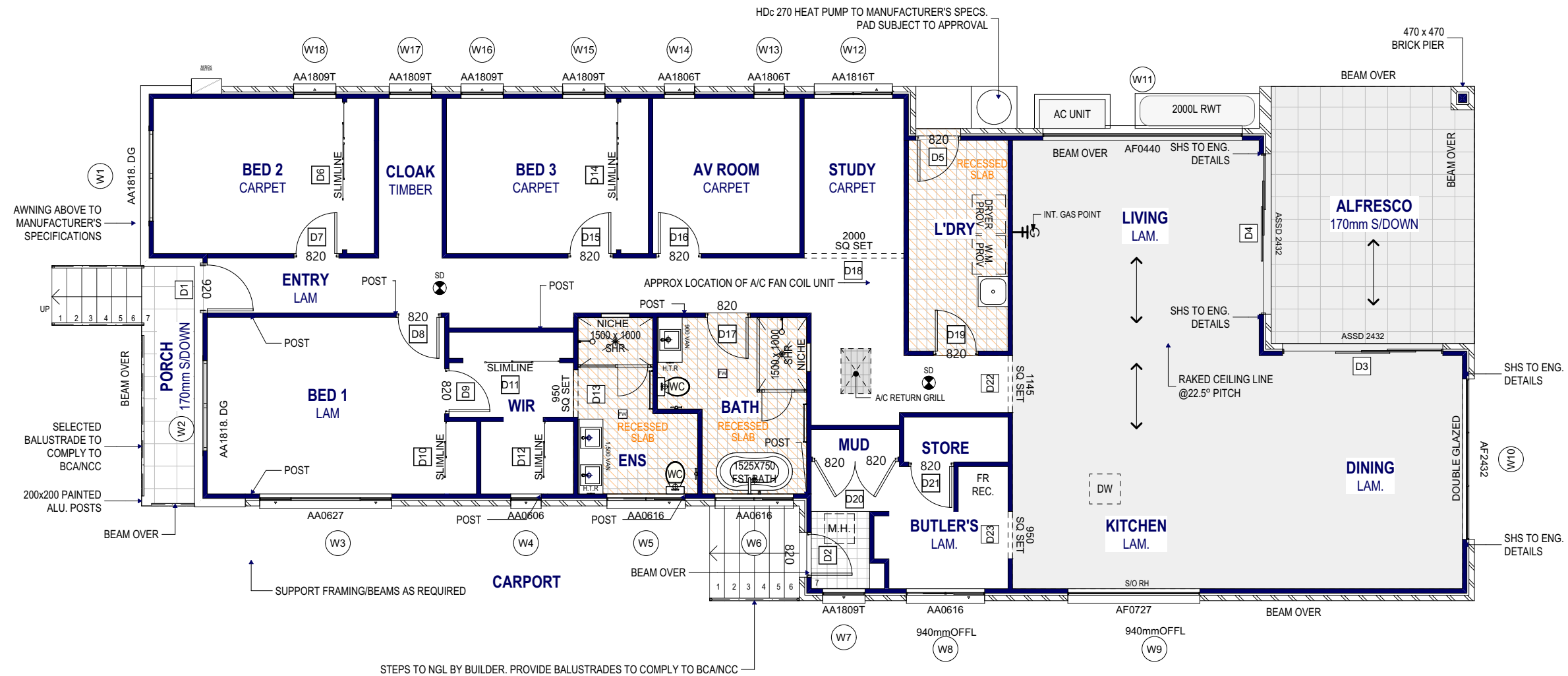
DP 3849

CLIENT CHAN & SOO

JOB NUMBER 1980

LGA CANTERBURY-BANKSTOWN

LODGEMENT DA



GROUND FLOOR - SERVICES PLAN

Scale 1:100



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REVC2 - 06/12/22 - HWS UPDATED. SC

Services Plan

DESIGN: CUSTOM

FACADE: CUSTOM

SHEET NO: APPROVAL- 10

SCALE: 1:100 @ A3

DATE Tuesday, 6 December 2022

LOCATION LOT 10/SEC 5/ 24 RAILWAY STREET
HURLSTONE PARK, NSW, 2193

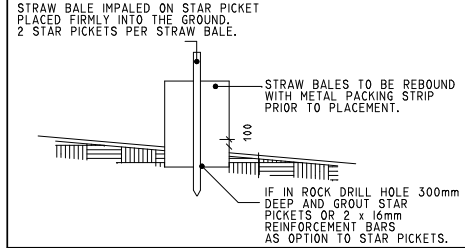
DP 3849


CLIENT CHAN & SOO

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LGA CANTERBURY-BANKSTOWN

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| | |
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| REVC2 - 06/12/22 - HWS UPDATED. SC | |
| APPROVAL PLANS | |
| Signed _____ | |
| Date _____ | |
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| SINGLE STOREY DWELLING | |
| JOB NUMBER | 1980 |
| Site Management Plan | |
| CLIENT CHAN & SOO | |
| LOCATION | |
| LOT 10/SEC 5/ 24 RAILWAY STREET | |
| HURLSTONE PARK, NSW, 2193 | |
| DP 3849 | |
| LGA CANTERBURY-BANKSTOWN | |
| LODGEMENT DA | |
| DESIGN: CUSTOM | |
| FACADE: CUSTOM | |
| SHEET NO: APPROVAL - 11 | SCALE: 1:200 @ A3 |
| DATE PRINTED | |
| Tuesday, 6 December 2022 | |

PLANT SCHEDULE

| Symbol | Latin Name | Common Name | Mature Height x width | Pot size |
|--------|------------------------|---------------|-----------------------|----------|
| | Casuarina Glauca | Swamp Oak | 8.30(h) x 3.10(w) | 75 Lt. |
| | Agonis flexuosa Indigo | Black Agonis | 3.00(h) x 1.20(w) | 14 Lt. |
| | Danthonia Racemosa | Wallaby Grass | 0.50(h) x 0.70(w) | 5 Lt. |

STAKING & TYING DETAIL (where required)

GARDEN BED AREAS

Ensure that mass planting areas have been excavated to 300mm below finished levels. Rip to a further depth of 150mm. Do not excavate within 1500mm of existing trees.

Supply and install 300mm depth of top soil mix, comprising of one (1) part mushroom compost to three (3) parts top soil. Top soil shall be either imported or from stockpiled site top soil i.e. free of clay. Install minimum 75mm depth of organic mulch.

TURF

Turf shall be select species with an even thickness of not less than 30mm.

Excavate / Grade all areas to be turfed to 100mm below required finished levels. Do not excavate within 1500mm of existing trees. Ensure that all surface water runoff is directed towards inlet pits (if required) and away from dwelling. Rip to a minimum depth of 150mm. Install 80mm depth of imported or onsite stock piled top soil.

NOTE: ALL LANDSCAPE TO BE DONE BY THE OWNER AFTER HANDOVER UNLESS SPECIFIED OTHERWISE IN THE TENDER DOCUMENTATION

DIAL BEFORE YOU DIG
www.1100.com.au

LOT 10/SEC 5/ 24 RAILWAY STREET

AREA: 490.50m²

'S' CLASS SLAB

AS PER SOIL CLASSIFICATION REPORT - REF:30055/7205 - DATED 07/01/21

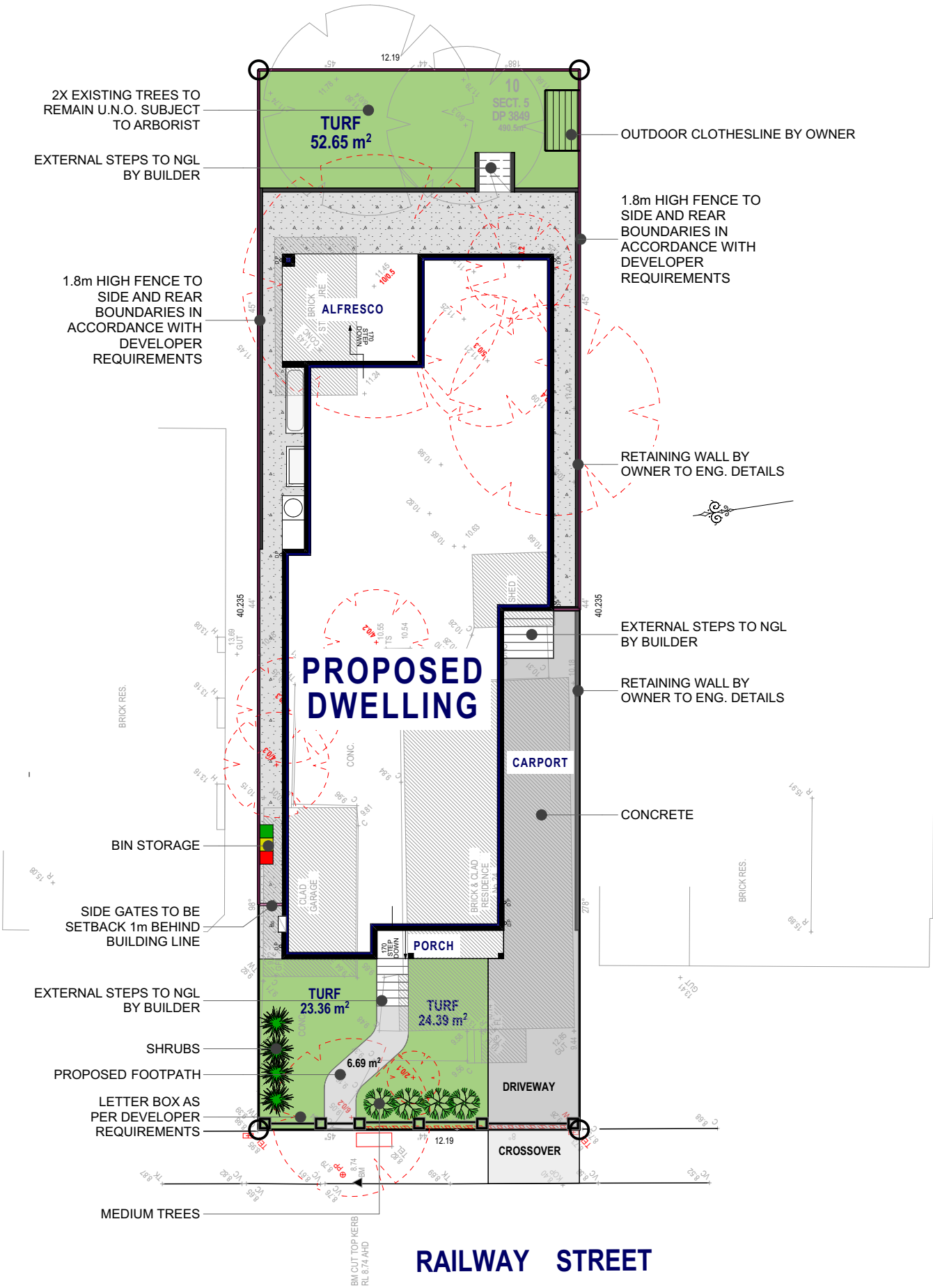
KNOCK-DOWN REBUILD SITE

CLASS 5 - ACID SULFATE SOIL

AS PER CANTERBURY LEP 2012

RAILWAY STREET - HERITAGE

AS PER CANTERBURY LEP 2012



LANDSCAPE PLAN

Scale 1:200

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APPROVAL PLANS

Signed _____

Date _____

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SINGLE STOREY DWELLING

JOB NUMBER 1980

Landscaped Plan

CLIENT CHAN & SOO

LOCATION
LOT 10/SEC 5/ 24 RAILWAY STREET
HURLSTONE PARK, NSW, 2193

DP 3849

LGA CANTERBURY-BANKSTOWN

LODGEMENT DA

DESIGN: CUSTOM
FACADE: CUSTOM

SHEET NO: APPROVAL- 12
SCALE: 1:200 @ A3

DATE PRINTED
Tuesday, 6 December 2022

SITE ANALYSIS KEY

(1)

SINGLE STOREY

(2)

TWO STOREY

OVERLOOKING

PREVAILING WINDS

PRIVATE OPEN SPACE

SUNLIGHT/SHADOWING



LOT 10/SEC 5/ 24 RAILWAY STREET
AREA: 490.50m²

'S' CLASS SLAB

AS PER SOIL CLASSIFICATION REPORT - REF:30055/7205 - DATED 07/01/21

KNOCK-DOWN REBUILD SITE

CLASS 5 - ACID SULFATE SOIL

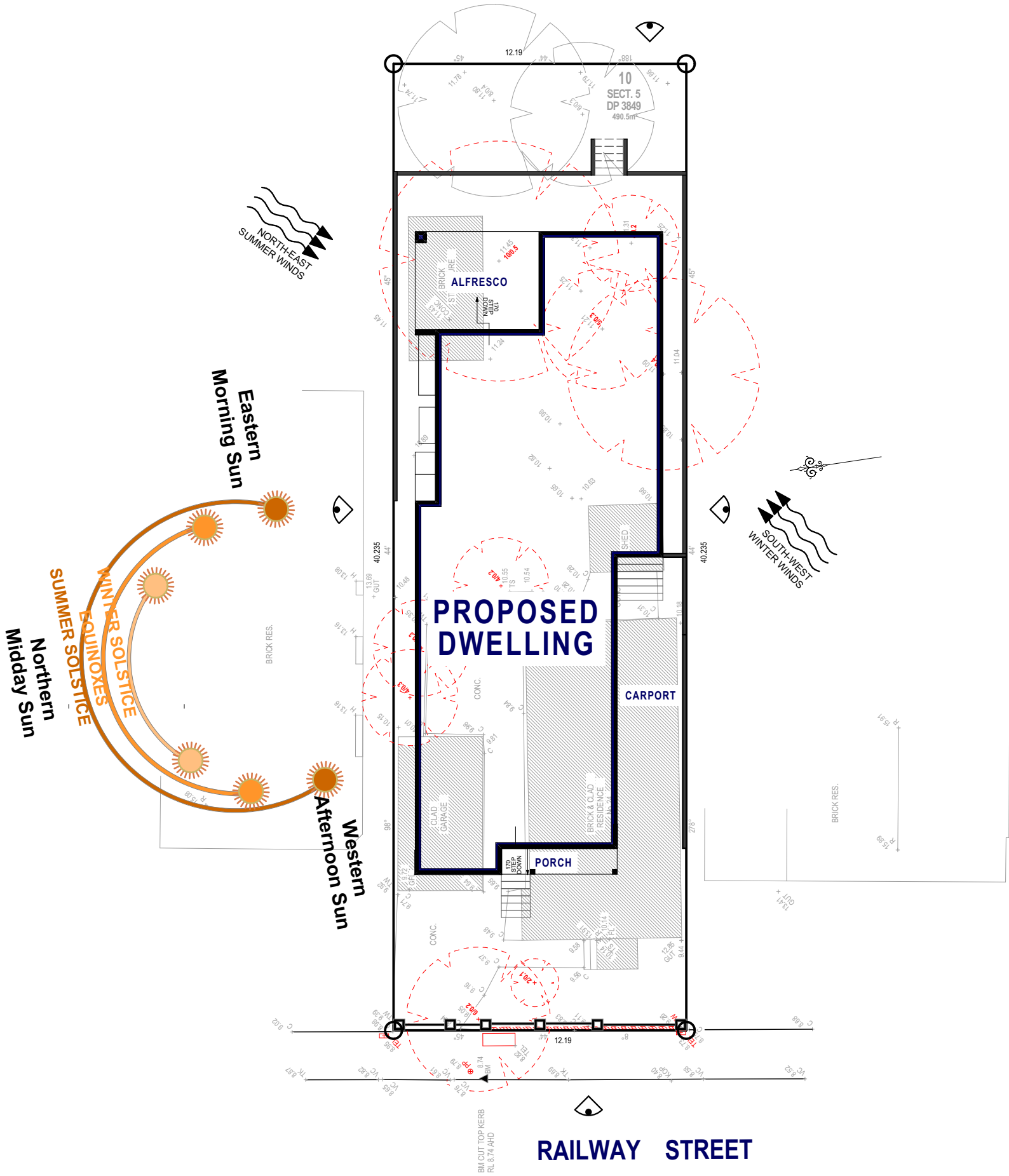
AS PER CANTERBURY LEP 2012

RAILWAY STREET - HERITAGE

AS PER CANTERBURY LEP 2012

SITE ANALYSIS PLAN

Scale 1:200



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| Signed | |
| Date | |
| <div><div></div><div>FAIRMONT HOMES NSW</div></div> <div>fairmontnsw.com.au</div> <div>1/79 Lasso Road, Gregory Hills NSW 2557</div> <div>02 4601 1981</div> <div>© COPYRIGHT FAIRMONT HOMES NSW</div> <div>ALL RIGHTS RESERVED</div> <div>COPYRIGHT OF PLANS AND DOCUMENTATION IN WHOLE OR IN PART SHALL REMAIN THE EXCLUSIVE PROPERTY OF FAIRMONT HOMES AND SHALL NOT BE REPRODUCED UNLESS A WRITTEN PERMISSION IS PROVIDED BY FAIRMONT HOMES NSW</div> | |
| GENERAL BUILDING NOTES | |
| <div>1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED.</div> <div>2. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH BUILDER'S TENDER/CONTRACT DOCUMENTATION.</div> <div>3. TENDER DOCUMENT SHALL TAKE PREFERENCE TO THESE DRAWINGS.</div> <div>4. FIGURED DIMENSIONS MUST TAKE PREFERENCE TO SCALING.</div> <div>5. LEVELS SHOWN ARE APPROXIMATE AND ARE TO BE CONFIRMED ON SITE BY SURVEYOR.</div> <div>6. DRAINAGE CONCEPT PLAN IS SCHEMATIC ONLY. RELATED WORKS TO BE VERIFIED BY LICENSED DRAINER AND /OR HYDRAULICS ENGINEER PRIOR TO WORK COMMENCEMENT.</div> <div>7. IF ENGINEER DRAWINGS ARE REQUIRED SUCH MUST TAKE PREFERENCE TO THESE DRAWINGS.</div> <div>8. ALL BOUNDARY CLEARANCES MUST BE VERIFIED BEFORE COMMENCEMENT OF BUILDING WORKS BY REGISTERED SURVEYOR.</div> <div>9. BUILDING WORKS TO BE CARRIED OUT STRICTLY IN ACCORDANCE TO THESE DRAWINGS.</div> <div>10. BUILDER IS TO STRICTLY COMPLY WITH ALL RELEVANT AUSTRALIAN CONSTRUCTION CODE AND THE AUSTRALIAN STANDARDS.</div> <div>11. IN CASE OF ALTERATIONS OR DISCREPANCIES NOTIFY FAIRMONT HOMES NSW IMMEDIATELY.</div> | |
| SINGLE STOREY DWELLING | |
| JOB NUMBER | 1980 |
| Site Analysis Plan | |
| CLIENT | CHAN & SOO |
| LOCATION | LOT 10/SEC 5/ 24 RAILWAY STREET HURLSTONE PARK, NSW, 2193 |
| DP 3849 | |
| LGA | CANTERBURY-BANKSTOWN |
| LODGEMENT | DA |
| DESIGN: | CUSTOM |
| FACADE: | CUSTOM |
| SHEET NO: | SCALE: |
| APPROVAL- 13 | 1:200 @ A3 |
| DATE PRINTED | Tuesday, 6 December 2022 |